

Subsection 4.06. Accessory Structure Standards

4.06.01. Accessory Structure Use in Residential Districts

In the following applicable residential zoning districts, an accessory structure shall not be used for commercial purposes.

Applicable Zoning Districts Table		
Section	District Abbreviation – District Name	Page Number
2.03.01.	AG – Agricultural District	27
2.03.02.	RE – Residential Estate District	28
2.03.03.	SF-16 – Single Family Residential-16 District	28
2.03.04.	SF-12.5 – Single Family Residential-12.5 District	29
2.03.05.	SF-10 – Single Family Residential-10 District	30
2.03.06.	SF-8.5 – Single Family Residential-8.5 District	30
2.03.07.	SF-7 – Single Family Residential-7 District	31
2.03.08.	OTR – Original Town Residential District	32
2.03.09.	PH – Patio Home District	33
2.03.10.	2F – Two Family Residential (Duplex) District	35
2.03.11.	TH – Townhome District	36
2.03.12.	MF-15 – Multifamily-15 District	37
2.03.13.	MF-19 – Multifamily-19 District	38
2.03.14.	MH – Manufactured Home District	39

4.06.02. Accessory Structure Use in Nonresidential Zoning Districts

In the following applicable nonresidential districts, an accessory structure is a subordinate and detached structure, the use of which is incidental to and used only in conjunction with the main structure.

Applicable Zoning Districts Table		
Section	District Abbreviation – District Name	Page Number
2.04.01.	O-1 – Office-1 District	40
2.04.02.	O-2 – Office-2 District	40
2.04.03.	R – Retail District	42
2.04.04.	OTC – Original Town Commercial District	43
2.04.05.	H – Highway District	49
2.04.06.	C-1 – Commercial-1 District	50
2.04.07.	C-2 – Commercial-2 District	51
2.04.08.	IT – Information and Technology District	52
2.04.09.	I – Industrial District	53

4.06.03. Garage Apartment or Guest House

(Ord. No. 19-10-83;10/1/19)

A [Garage Apartment](#) (Page [316](#)) or [Guest House](#) (Page [317](#)) shall be allowed as an incidental use on the same lot or tract as the main dwelling unit provided that it meets the following standards.

(A) Location

- (1) A [Garage Apartment](#) (Page [316](#)) shall be constructed attached to a garage, either above or on the same level as the garage).
- (2) A [Guest House](#) (Page [317](#)) shall be constructed separate from the main dwelling.

(B) Building Permit Requirement

A Garage Apartment or Guest House may be constructed only with the issuance of a Building Permit.

(C) Rental

- (1) A Garage Apartment or Guest House may not be sold separately from the sale of the entire property, including the main dwelling unit.
- (2) A Garage Apartment or Guest House may be rented or offered for rent provided that the main dwelling unit is owner-occupied.

(D) Setbacks

Setback shall meet the area regulations for accessory structures as shown in [Figure 4.06.04.1: Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts](#) (Page [178](#)).

4.06.04. Area Regulations for Accessory Structures

(Ord. No. 2021-07-47; 7/6/21)

(A) Definition

See [Accessory Structure](#) (Page [300](#)).

(B) An Accessory Structure is prohibited in any easement.

(C) MH District

In the MH District, no carport, garage, storage structure, office, caretaker's dwelling, laundry house, or other permitted structure may be located nearer than ten (10) feet to any side or rear property line. Such structures shall also be subject to front yard setback requirements of the primary structure.

(D) Multifamily Zoning Districts

Accessory Structure yard requirements shall be the same as the main structure unless otherwise specified in the zoning district or approved by the Planning & Zoning Commission on a Preliminary Site Plan for the multifamily development.

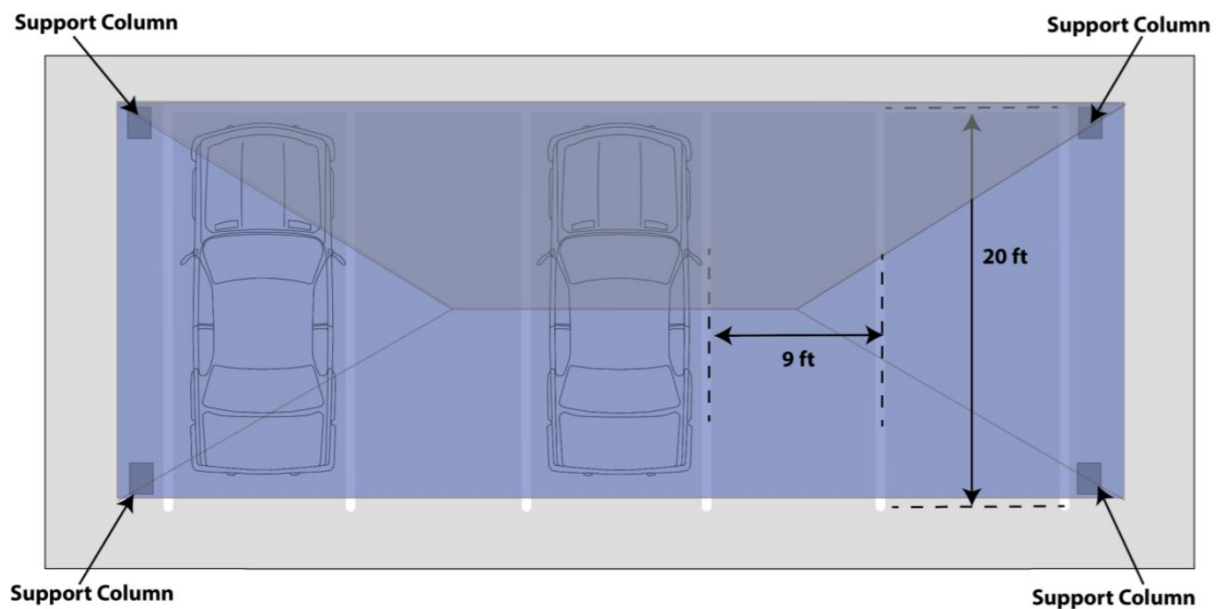
- (1) See [Figure 9.01.01.13: Accessory Building Setbacks](#) (Page [353](#))

(E) All Residential Districts Except Multifamily Zoning Districts

- (1) Specific Standards
 - a. Accessory Structure yard requirements shall be the same as the main structure unless otherwise specified in [4.06.04. \(F\) Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts](#) (Page [178](#)).
 - b. See [Figure 4.06.04.1: Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts](#) (Page [178](#)) for requirements.

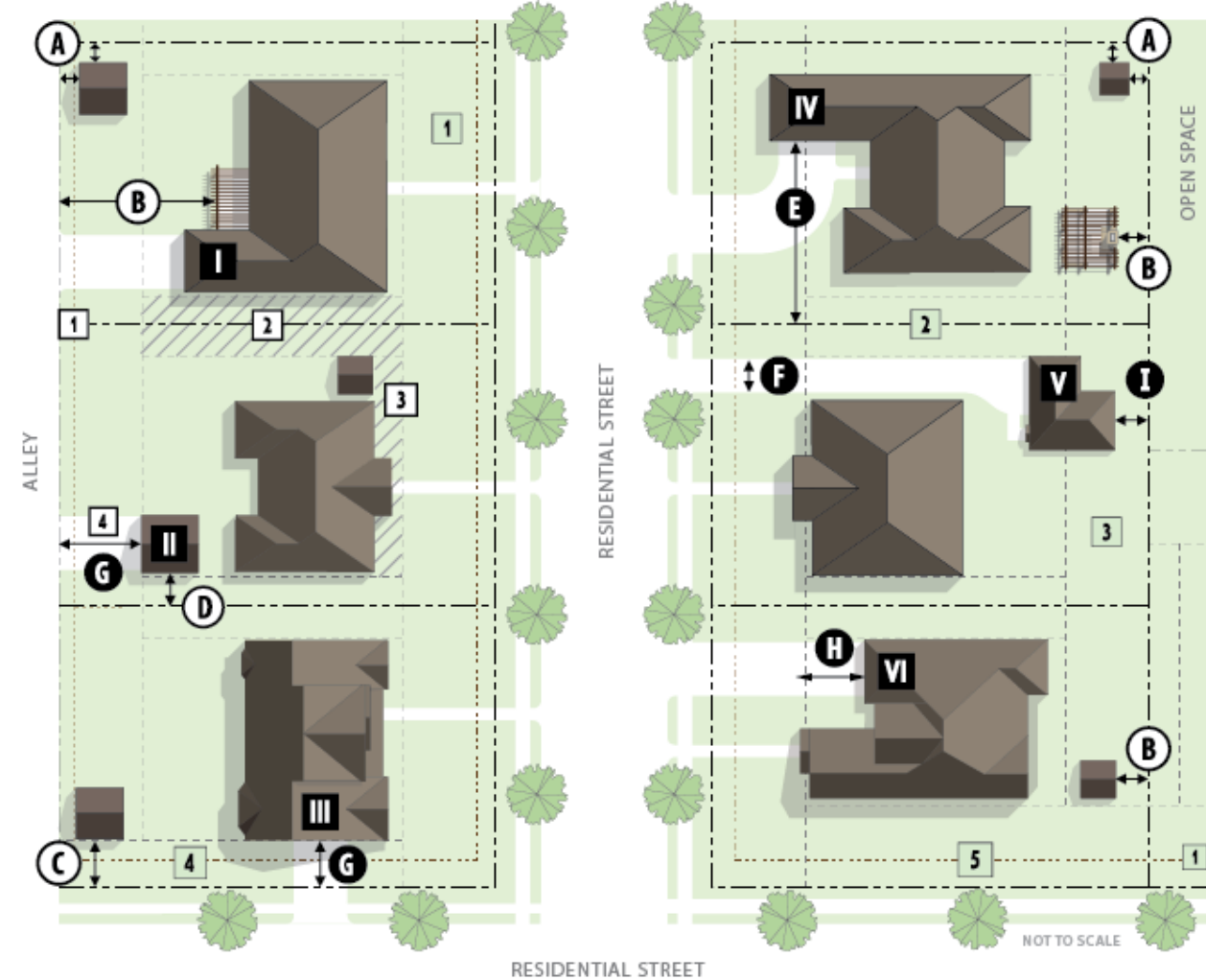
(F) All Nonresidential Districts

- (1) These standards shall not apply to canopies associated with a Convenience Store with Gas Pumps nor Gas Pumps as Accessory Use (for standards, reference 3.02.01(A)(14), and 3.02.01(A)(16), respectively).
- (2) Accessory structures shall not be located in required front, side or rear yards (reference 2.06.05 Nonresidential Districts Development Standards).
- (3) Accessory structures shall not cover more than 15% of the lot area. Accessory structures shall not affect lot coverage.
- (4) Support columns associated with an accessory structure covering parking spaces shall not be placed so as to impede the opening of a vehicle door; the support columns shall be located at the front or back of the parking spaces. Support columns shall not extend into the minimum width of a parking space (reference diagram below).



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(G) Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts



LEGEND		REQUIREMENTS FOR ALL ACCESSORY STRUCTURES	
	Property Lines		Accessory Structure Note
	Setback Lines		Garage/Carport Type
	Easement Lines		Garage/Carport Note
	Note Applies to All Accessory Structures		No structure shall be placed within an easement.
			No structure shall be placed in the side yard setback between the front and rear yard setback lines.
			No structure shall project into the front yard beyond the face primary structure (not to include the porch area).
			Accessory structures or buildings within the rear portion of the lot constructed closer than 10' to the main structure shall have the rear yard setback of the primary structure.
PRIMARY STRUCTURE SETBACKS		GARAGENOTES	
	Front Yard		28' min.
	Side Yard		12' max.
	Rear Yard		10' or 20' or greater
	Corner Lot, Side Yard		See Page 184
	Corner Lot, Front Yard (Key Lot)		6' or Same as Primary Structure Setback
SETBACK NOTES			
	3' min.		
	10' min.		
	15' min. when Adjacent to a Side Street		
	Same as Primary Structure Setback		

SPECIFIC STANDARDS BY LOT TYPE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
Lots Backing to Alley	(D)	(C) (D)	(A) (B)	A 3' rear yard setback is allowed if the structure is no greater than 8' in height. A solid fence or wall of the same height shall be built on the rear lot line to screen the structure from property located to the rear.
Lots Backing to Open Space (minimum 50' in depth)	(D)	(C) (D)	(A)	
No Alley or Open Space (minimum 50' in depth)	(D)	(C) (D)	(B)	
SPECIFIC STANDARDS BY USE OF STRUCTURE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
Guest House or Garage Apartment	(D)	(C) (D)	(D)	
Patio Covers/Arbors Attached to the Primary Structure	(D)	(C) (D)	(B)	Shall be open on all sides, have a permeable (non weather-resistant) roof, and a maximum height of one story.
Outdoor Kitchen/Fireplace	(D)	(C) (D)	(B)	On corner lots, may encroach into the side yard up to 7' from the side property line. The maximum height for outdoor kitchens in the side yard shall be 42". 100% masonry structures (no greater than 8' in height) may encroach into the rear yard up to 10' from the property line.
Fire Pit	(D)	(C) (D)	(D)	15' minimum distance from the primary structure 10' minimum distance from any combustible item.
SPECIFIC STANDARDS BY USE OF STRUCTURE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
	Alley Loaded, Attached	(D) (D) (G)	(G)	20' minimum setback from side yard if accessed off side alley.
	Alley Loaded, Detached	(D) (D) (G)	(G)	20' minimum setback from side yard if accessed off side alley.
	Side Loaded	(D)	(G) (D)	
	J-Swing	(D)	(E) (D)	Front yard setback for J-Swing garage may be reduced by up to 10' per 4.07.02. (I) (Page 184).
	Front Loaded, Detached (Pass-Thru)		(D) (H)	Driveway width shall be a maximum of 12' between the street and the front façade of the primary structure. 6' minimum setback from the rear property line shall be provided if a single story structures 10' or more from the primary structure. Otherwise, it shall meet the primary structure setback requirement.
	Front Loaded, Attached	(D)	(D) (D)	

Figure 4.06.04.1: Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts

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4.06.05. Accessory Structure Exterior Façades and Construction

(Ord. No. 2021-07-47; 7/6/21)

(A) Exterior Façades

The exterior facades of all accessory structures, including detached garages, in all zoning districts shall be constructed of the same exterior construction material of the main building or structure, and, at a minimum, the requirements which meeting or exceed [4.07.09. Exterior Construction of Main Buildings](#) (Page [188](#)).

(B) Exceptions to Exterior Facades

- (1) These standards shall not apply to canopies associated with a Convenience Store with Gas Pumps nor Gas Pump with Accessory Use (for standards, reference 3.02.01(A)(14) and 3.02.01(A)(16), respectively).
- (2) Fiber cement siding may be used to fulfill masonry requirements for an accessory structure or structure of two hundred (200) square feet or less in a single family or two-family district.
- (3) Exception shall be allowed to the [4.07.09. Exterior Construction of Main Buildings](#) (Page [188](#)) for accessory structures in the [AG – Agricultural District](#).
- (4) Metal or wood may be used as an exterior construction material for an accessory structure or structure of one hundred twenty (120) square feet or less in a single family or two-family district.
- (5) Fiber cement siding may be used to fulfill masonry requirements for structures accessory to an existing structure constructed entirely of wood or vinyl siding.
- (6) In nonresidential and multifamily districts, fabric canopies/awning are permitted provided the following minimum requirements are met:
 - i. Fabric shall be made of coated vinyl
 - ii. Fabric shall be a solid color and contain no pattern. Neon and/or Fluorescent colors are prohibited;
 - iii. Fabric and overall support system shall be designed to handle a wind speed of up to 150 miles per hour;
 - iv. Applicant shall submit proof of a minimum 10-year manufacturer warranty for the fabric upon submittal of an application for a building permit. This warranty shall cover fraying, tearing, fading and discoloring.
 - v. The support structure (including columns) shall be metal; painted white, black or dark brown; and
 - vi. Signage and logos are prohibited.
- (7) In nonresidential districts, accessory structures with pervious roofs (e.g., pergola) may be constructed of Cedar, Douglas Fir, or other material impervious to rotting, provided masonry, matching the material of the primary building or structure, wraps around the base of each column for a minimum three (3) feet above grade.